

Home & Kitchen

PROJECT: Home & Kitchen

SHOP: Rouse Hill Town Centre

CLIENT: Home & Kitchen

CLIENT APPROVAL:

Signature: _____

Date: _____

Note: If unsure at any time of drawing details it is your responsibility to contact the designer immediately



CLIENT: HOME & KITCHEN
ADDRESS: GR036 Rouse Hill Town Centre, Rouse Hill

DRAWING SCHEDULE:

DWG. NO.	REV	DRAWING NAME
597_00	A	CONTENTS PAGE
597_01	A	LANDLORD SITE PLAN
597_02	A	TENANCY PLAN
597_03	A	TENANCY ELEVATION
597_04	A	FLOOR PLAN
597_05	A	REFLECTED CEILING PLAN
597_06	A	SHOPFRONT ELEVATION
597_07	A	INTERNAL ELEVATION - RIGHT WALL
597_08	A	INTERNAL ELEVATION- LEFT WALL
597_09	A	REAR WALL ELEVATION
597_10	A	DESIGN SCHEMATIC
597_11	A	MOOD BOARD
597_12	A	SIGNAGE OPTIONS
597_13	A	SCHEDULE OF MATERIALS
597_14	A	TYPICAL FIXTURE DETAILS
597_15	A	COUNTER DETAILS
597_16	A	GONDOLA A & B
597_17	A	GONDOLA C
597_18	A	GONDOLA D & E
597_19	A	LOCKABLE GLASS DIPLAY UNIT DETAILS
597_20	A	DISPLAY BLADE A DETAILS
597_21	A	SIGNAGE DETAILS

NOTES

DO NOT SCALE FROM THESE DRAWINGS. USE FIGURED DIMENSIONS ONLY. SHOP FITTER/CONTRACTOR NEEDS TO CHECK ALL DIMENSIONS ON SITE PRIOR TO ANY MANUFACTURING OR CONSTRUCTION. TENANCY FIT OUT TO COMPLY WITH ALL NATIONAL BUILDING STANDARDS INCLUDING LOCAL GOVERNMENT AND SERVICE PROVIDER REQUIREMENTS. SHOP FITTER IS TO CONFIRM THE LOCATION OF ALL LOOSE FURNITURE PRIOR TO THE INSTALLATION OF ALL OUTLETS AND SERVICES.

LANDLORD IS TO PREPARE AND MAKE GOOD OF ALL FLOOR AND WALL SERVICES TO ACCEPT NEW FINISHES IN ORDER TO COMPLY WITH MANUFACTURERS CURRENT WRITTEN SPECIFICATIONS. ALL DRAWINGS PROVIDED ARE BASED ON INFORMATION SUPPLIED BY THE LANDLORD.

FLOORING

PROVIDE SMOOTH AND EVEN TRANSITIONS BETWEEN THE CHANGES OF FINISHES AND FLOOR LEVELS. FLOOR FINISHES WILL NEED TO BE OF A CLEAN STEEL TROWEL FINISH READY TO ACCOMMODATE NEW FLOOR COVERINGS. WATERPROOF MEMBRANE IS REQUIRED 150mm FROM TENANCY WALL AS WELL AS A 150mm VERTICAL UPTURN AGAINST TENANCY WALL IN ALL WET AREAS AS ILLUSTRATED IN DRAWINGS.

ASSEMBLY

ENSURE ADHESIVES, FASTENERS AND FIXINGS ARE APPROPRIATE FOR APPLICATION. ENSURE RIGID ASSEMBLY OF ALL COMPONENTS. CONCEAL ALL FIXINGS OR OTHERWISE AS NOTED.

PLUMBING

SHOP FITTER IS TO ENGAGE THE SERVICES OF A HYDRAULICS ENGINEER TO SUPPLY SUITABLE DRAWINGS IF REQUIRED TO THE RELEVANT AUTHORITIES FOR APPROVAL. THE PLUMBING CONTRACTOR IS TO COMPLY WITH LOCAL AUTHORITY AND REGULATORS. PROVIDE WATER SUPPLY SHUT OFF VALVES FOR MAIN ISOLATOR IN STORE ROOM TO ENABLE CLIENT TO TURN OFF WATER SUPPLY TO SUPPLY RUNS. PLUMBING FROM PEDICURE BEDS TO WALL TO BE ON FLEXIBLE HOSE, MIN. 800 LONG. INCLUDE 12MM THREAD DISCHARGE AND AIR ADMITTANCE VALVE TO ROW. REFER TO CLIENT SUPPLIED ITEMS LIST ATTENDANCE. LOCATE AND CARRY BACK WASTE TO EXISTING DRAINAGE POINT & CONNECT TO EXISTING SERVICES. LANDLORD TO MAKE GOOD EXISTING WASTE POINT FOR MIN.65mm. DIA DRAINAGE LINE. A CERTIFICATE OF COMPLIANCE IS TO BE PROVIDED TO THE LANDLORD'S NOMINATED REPRESENTATIVE PRIOR TO COMPLETION.

ELECTRICAL

POWER OUTLETS (WHITE) SHOP FITTER TO ENSURE PROTECTION OF DISTRIBUTION BOARD FROM WATER SOURCES. PEDICURE CHAIRS REQUIRE MINIMUM DOUBLE GPO PER UNIT. GPO's VISIBLE TO CUSTOMERS TO HAVE S.S. FACE PLATES AS A MINIMUM. PRIOR TO COMPLETION PROVIDE LANDLORD'S NOMINATED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE.

EMERGENCY SERVICES

SHOP FITTER IS TO ENSURE COMPLIANCE OF EMERGENCY LIGHTING, EXIT SIGNS, SMOKE DETECTORS, EXTINGUISHERS/BLANKETS AND ALIKE. VERIFY REQUIREMENTS WITH NOMINATED SUBCONTRACTORS. SHOP FITTER IS NOT RESPONSIBLE FOR THE COMPLIANCE OF EXISTING SPRINKLERS, SERVICES & EQUIPMENT. THESE MAY NEED TO BE MODIFIED TO COMPLY WITH LOCAL AUTHORITIES & BCA REQUIREMENTS. POSITIONS OF SERVICES SHOWN ON THESE PLANS ARE INDICATIVE ONLY AND THE SHOP FITTER IS TO CONFIRM ONSITE. A CERTIFICATE OF COMPLIANCE IS TO BE PROVIDED TO THE LANDLORD'S NOMINATED REPRESENTATIVE PRIOR TO COMPLETION.

GLAZING













GLAZING IS TO BE INSTALLED IN COMPLIANCE WITH RELEVANT STATUTORY REGULATIONS. FULLY RECESSED FRAME ALL ROUND WHERE POSSIBLE. A CERTIFICATE OF COMPLIANCE IS TO BE PROVIDED TO THE LANDLORD'S NOMINATED REPRESENTATIVE PRIOR TO COMPLETION.

CO-ORDINATION









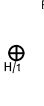
SHOP FITTER TO ALLOW FOR FULL COORDINATION OF WORKS DONE BY OTHERS INCLUDING CLIENT SUPPLIED ITEMS AND WORKS BY LANDLORD. WORKS BY LANDLORD MAY INCLUDE AIR-CONDITIONING DUCTING AND OUTLETS, SPRINKLERS AND EMERGENCY SERVICES. PROVIDE A SET OF STAMPED APPROVED DRAWINGS ON SITE AT ALL TIMES. PRIOR TO COMPLETION PROVIDE LANDLORD'S NOMINATED REPRESENTATIVE A STRUCTURAL CERTIFICATE CONFIRMING THE STRUCTURAL INTEGRITY OF ALL SUSPENDED ELEMENTS.







LEGEND:

ELECTRICAL SYMBOLS




	Double GPO
	Single GPO
	Double Data Point
	Light Switch
	Security Pad
	Audio Visual Point
	Antenna Point
	Telephone Point
	Electrical Distribution Board. EXISTS - By Lessor. Location to be determined on site.
	Telephone Hub
	Sever Unit
	Communications Distribution Frame. By lessor. Location to be determined on site

CEILING SYMBOLS



	Air conditioning duct round
	Air conditioning duct
	Air conditioning return duct
	Return Air- location to be determined. Works by lessor nominated subtrade
	Air Register- Works by lessor nominated trade
	Ceiling heights- above finished level
	Emergency Exist Sign- Edge lit blade style works by lessor nominated subtrade where required.
	1200 DBL FLURO BATTEN-FL/01-Existing
	Light Fitting Type - Recessed 50W downlight - Gimbal Type - Equal to 30 ADJ D/L 50W. C/W 50. Atco remote TRX P/F (White Trim).

	Recessed Compact Fluorescent Lamp - Equal to louvered 2 x 26W WHT C/W18 TC-D Lamps C83 Lamps (White Trim).
	EMERGENCY LIGHT/ OR SERVICE -Location to be determined - Works by Lessor nominated subtrade.
	Recessed Speaker
	ACCESS PANEL - Final location to be determined.
	Emergency Sprinkler
	Switch (White)
NOTE: NO JOINERY LIGHTING SHOWN. REFER TO INDIVIDUAL JOINERY UNIT PLANS FOR DETAILS	




PLUMBING SYMBOLS

	HOT & COLD TAPS BY SHOPFITTER - To suit Pedicure Bed System.
	NEW HOT WATER SYSTEM UNIT - With Safe Tray. Most appropriate HWU must be selected according to number of chairs it will accomodate
	DRAINAGE POINT - EXISTS - By Lessor. Location to be determined on site.

FLOORING SYMBOLS

	Scheduled Carpet No.
	Scheduled Floor Tile No.

PLAN SYMBOLS

	Scheduled Paint Finish No.
	Scheduled Wallpaper Finish No.
	Fixed Glass

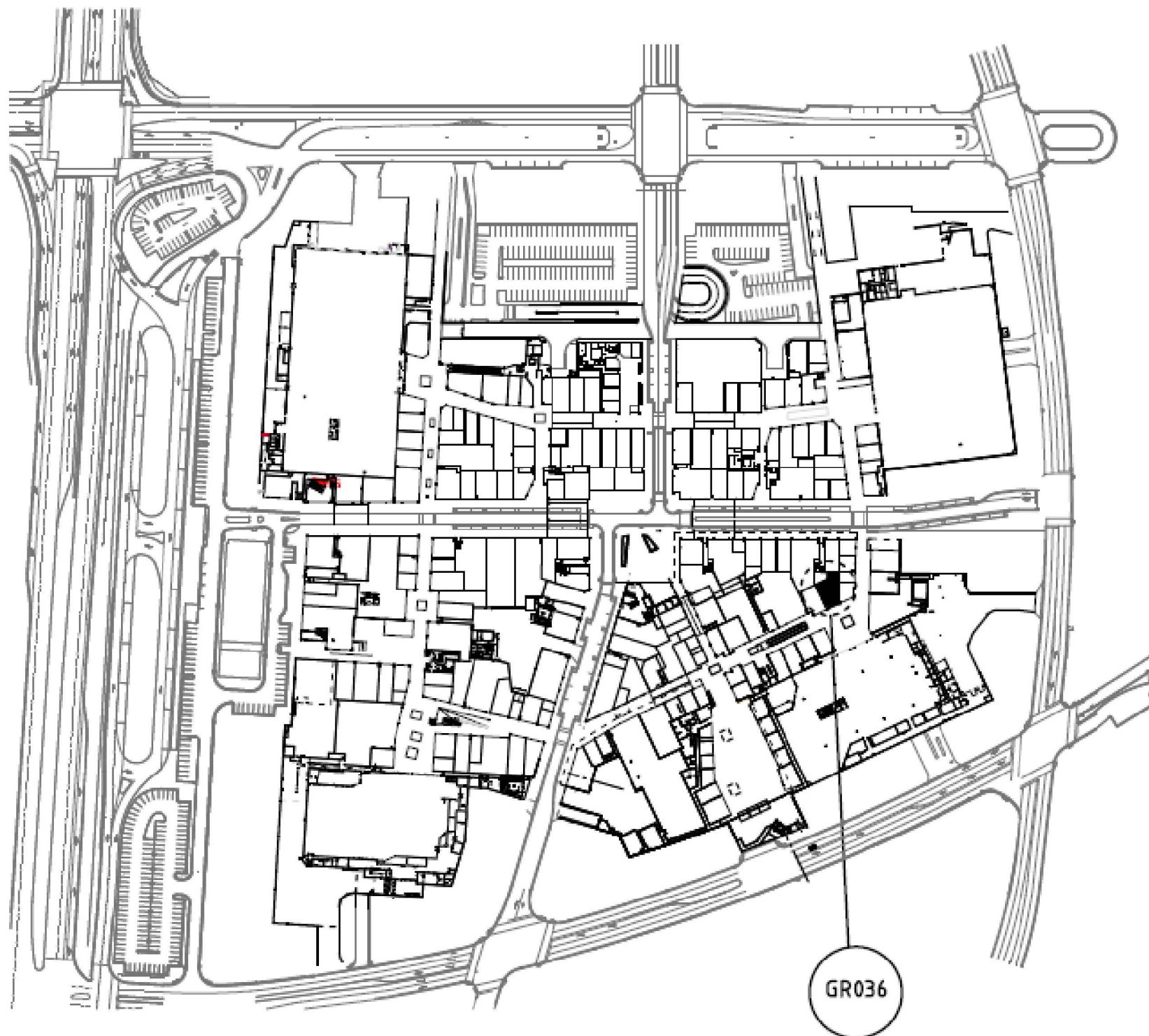


PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

PROJECT	HOME AND KITCHEN ROUSE HILL TOWN CENTRE ROUSE HILL NSW
TITLE	Genral Notes Page

REV	A	SCALE	1:20	SHEET	A3	ISSUE	BY	DESCRIPTION	DATE
DRAWN BY	LZ	DATE	02.10.13	AUTH.	BZ	CLIENT ARROVAL			
JOB NO	597_00	SHEET NO	00/14						



PLEASE NOTE
 This plan is current as per revision date and is indicative only. The GPT Group and its agents reserve the right to change this indicative plan at any time in their absolute discretion. Before commencing shop design/fitout you should ensure that you have the most up to date information about the centre, premises and the land lease outline drawing. The GPT Group, on its own behalf and on behalf of its agents disclaim any liability and responsibility for any cost, loss, damage or claim of whatever nature or kind (including negligence) suffered or sustained or incurred by any person, corporation or other legal entity which arises out of any alleged reliance on this indicative plan.

01 LOCATION DIAGRAM RETAIL PODIUM LEVEL
GR036 SCALE 1:2500

Plot Date: 20/02/2007
FOR TENDER



PO Box 698 Liverpool
 NSW 2170 Australia
 Tel: +61 2 9826 0666
 Fax: +61 2 9826 0122
 www.bams.com.au

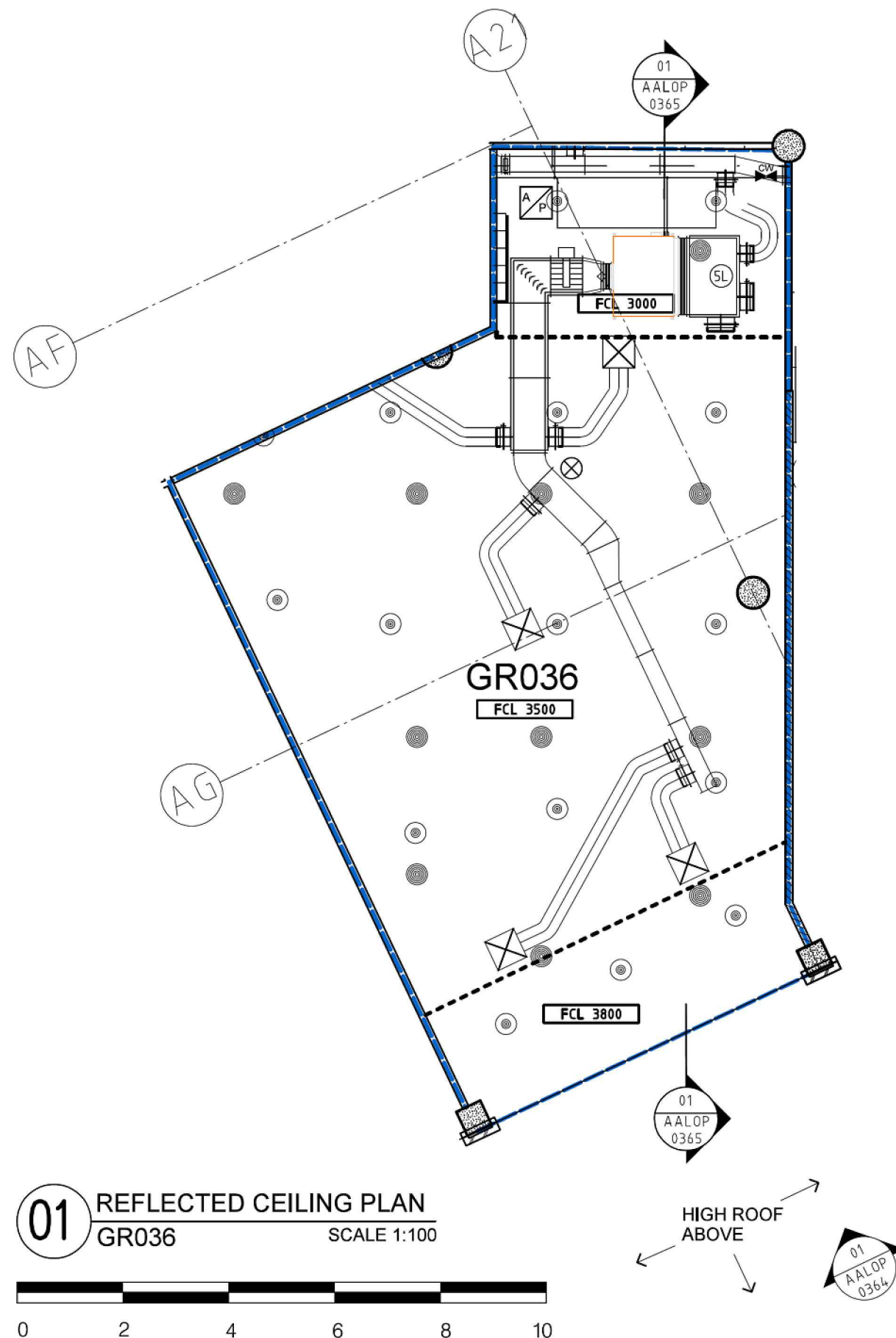
NSW: 88823C
 VIC: CB-L 3112
 WA: S.879
 QLD: 1068845
 ACT: 200579
 SA: BLD 87326
 TAS: CC4768 U
 NZ: LBP100682

These plans remain the property of Building & Maintenance Services (BAMS) Pty Ltd at all times.
 The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS. COPY RIGHT RESERVED©

PROJECT HOME AND KITCHEN
 ROUSE HILL TOWN CENTRE
 ROUSE HILL NSW
 TITLE Landlord Site Plan

REV A SCALE - SHEET A3
 DRAWN BY LZ DATE 2.10.13 AUTH. BZ
 JOB NO 597_02
 CLIENT APPROVAL SHEET NO

ISSUE	BY	DESCRIPTION	DATE
A	LZ	CREATED	02.10.13



1. All fitouts must be designed and installed to comply with the latest Local Council Requirements, the Building Code of Australia, Australian Standards and the Disability Discrimination Act.
2. All fitouts must be designed and installed to comply with the Rouse Hill Town Centre Fitout Guide.
3. All dimensions and services locations both vertical and horizontal shown on these plans and elevations must be confirmed on site by the Lessee prior to commencing any joinery or fitout works. Any discrepancies must be advised to GPT immediately.
4. All structural elements in the fitout must be designed and certified by a qualified structural engineer. No fitout items can be supported from the base building shopfront bulkhead.
5. Core holes in or chasing of the structural slab, base building walls or structural columns is NOT allowed unless specifically approved in writing by GPT.
6. Extension to the inter-tenancy walls are NOT allowed unless specifically approved by GPT.
7. Lessee must allow for Emergency lights in all rooms within the fitout in accordance with the BCA.
8. An alternative choice of exit must be provided for all areas within the fitout that are greater than 20 metres distance from an exit to the public realm or an egress corridor.
9. An emergency exit door must be located in the shopfront of tenancies over 200 metres square.
10. As required by the BCA shopfront doors must not be locked from the inside when occupied unless an alternative exit door exists within the tenancy.
11. Access panels must be installed by the Lessee during the fitout to suit the base building services layout.
12. Low Level waste point and high level cold water supply point by Lessor. To be confirmed on site. Edge of sink bowl to be greater than 300mm from Electrical Distribution Board.
13. Gas supply (where applicable) is at high level. To be confirmed on site.
14. Any works affecting the Base Building or Structure to be approved by the Lessor (in writing) prior to installation.
15. No outgos permitted.
16. Lessee to supply & install a portable fire extinguisher. To be located within 15m of all points of the tenancy as required by the BCA.
17. Lessee to certify that all floor finishes are non-slip as required in accordance with AS4586:1999 & AS3661.
18. Allow for exit signs within the tenancy in accordance with the BCA.
19. Stated FCLs are available heights only. To be confirmed on site. Final FCLs to be determined by Tenancy Fitout at Lessee's cost.
20. Lessee to ensure Tenancy Fitout does not intrude into the Lessor's Service Zone without GPT approval.
21. Lessee to ensure that Exclusion Zone remains clear for access ladder.

PLEASE NOTE:

This plan is current as per revision date and is indicative only. The GPT Group and its agents reserve the right to change this indicative plan at any time in their absolute discretion including but not limited to the following elements:

- Column sizes and locations
- FHR locations
- RCP and extent of rear zone
- Service riser locations
- Locations of service control boxes including but not limited to electrical distribution boards, mechanical control boxes, communication boxes and hydraulic water points
- Location of drainage points
- Shopfront pier locations, overhead beam location details and material details

Before commencing shop design/fitout you should ensure that you have the most up to date information about the premises and the final Lease Outline Drawing for this tenancy.

The GPT Group, on its own behalf and on behalf of its agents disclaim any liability and responsibility for any cost, loss, damage or claim of whatever nature or kind (including negligence) suffered or sustained or incurred by any person, corporation or other legal entity which arises out of any alleged reliance on this indicative plan.



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

These plans remain the property of Building & Maintenance Services (BAMS) Pty Ltd at all times.
The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS COPY RIGHT RESERVED©

PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE Tenancy Plan

REV H

SCALE -

SHEET A3

ISSUE BY

A LZ

DESCRIPTION

DATE

DRAWN BY LZ

DATE 2.10.13

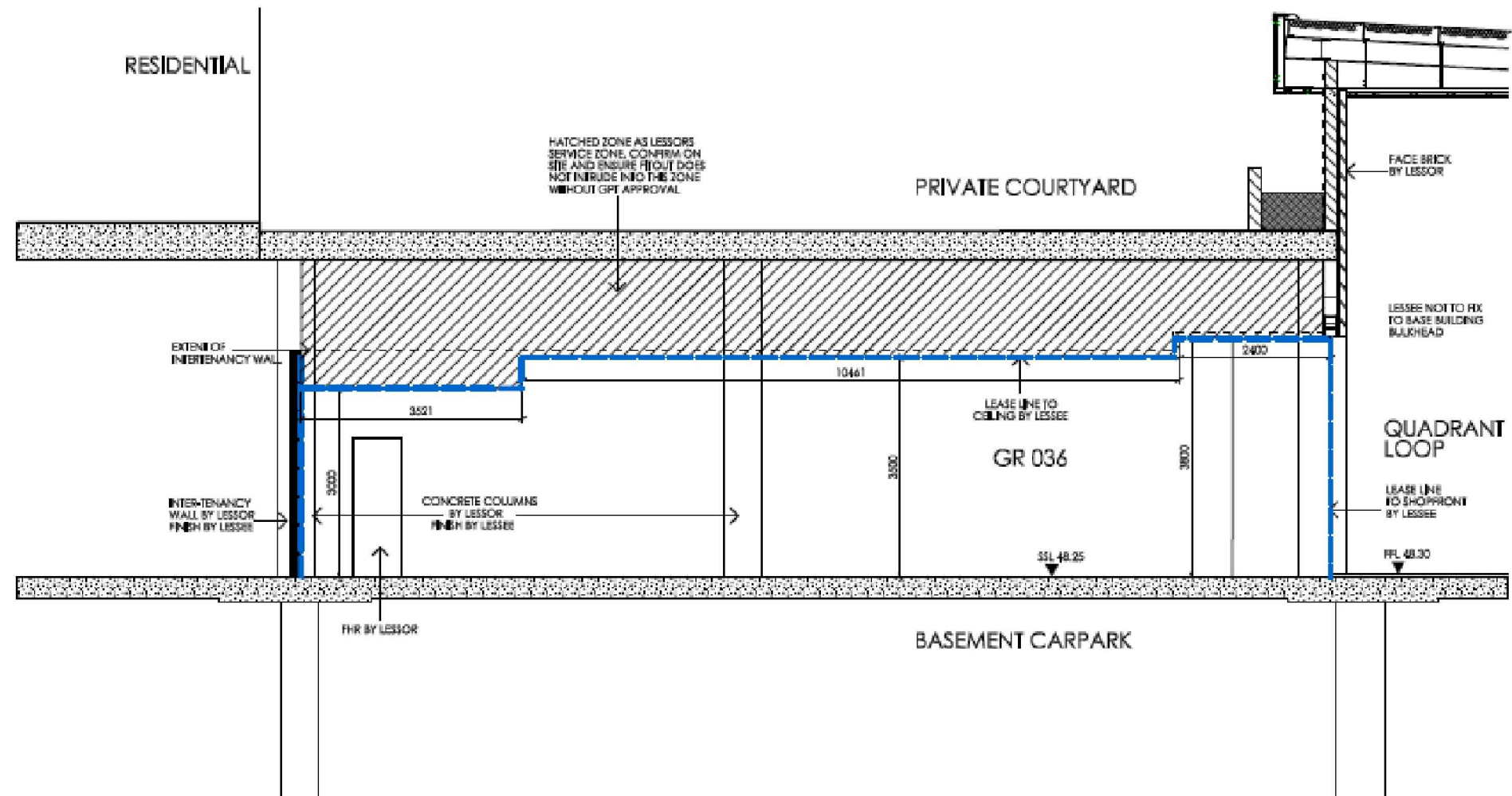
AUTH. BZ

CLIENT APPROVAL

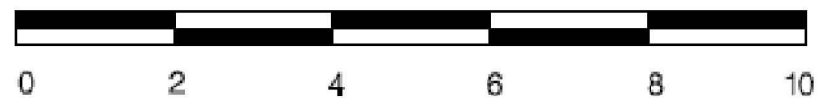
SHEET NO

A00

JOB NO
597_02



01 TENANCY SECTION
GR036 SCALE 1:100



1. All fitouts must be designed and installed to comply with the latest Local Council Requirements, the Building Code of Australia, Australian Standards and the Disability Discrimination Act.
2. All fitouts must be designed and installed to comply with the Rouse Hill Town Centre Fitout Guide.
3. All dimensions and services locations both vertical and horizontal shown on these plans and elevations must be confirmed on site by the Lessee prior to commencing any joinery or fitout works. Any discrepancies must be advised to GPT immediately.
4. All structural elements in the fitout must be designed and certified by a qualified structural engineer. No fitout items can be supported from the base building shopfront bulkhead.
5. Core holes in or chasing of the structural slab, base building walls or structural columns is NOT allowed unless specifically approved in writing by GPT.
6. Extension to the inter-tenancy walls are NOT allowed unless specifically approved by GPT.
7. Lessee must allow for Emergency lights in all rooms within the fitout in accordance with the BCA.
8. An alternative choice of exit must be provided for all areas within the fitout that are greater than 20 metres distance from an exit to the public realm or an egress corridor.
9. An emergency exit door must be located in the shopfront of tenancies over 200 metres square.
10. As required by the BCA shopfront doors must not be locked from the inside when occupied unless an alternative exit door exists within the tenancy.
11. Access panels must be installed by the Lessee during the fitout to suit the base building services layout.
12. Low Level waste point and high level cold water supply point by Lessor. To be confirmed on site. Edge of sink bowl to be greater than 300mm from Electrical Distribution Board.
13. Gas supply (where applicable) is at high level. To be confirmed on site.
14. Any works affecting the Base Building or Structure to be approved by the Lessor (in writing) prior to installation.
15. No outgases permitted.
16. Lessee to supply & install a portable fire extinguisher. To be located within 15m of all points of the tenancy as required by the BCA.
17. Lessee to certify that all floor finishes are non-slip as required in accordance with AS4586:1999 & AS3661.
18. Allow for exit signs within the tenancy in accordance with the BCA.
19. Stalled FCLs are available heights only. To be confirmed on site. Final FCLs to be determined by Tenancy Fitout at Lessee's cost.
20. Lessee to ensure Tenancy Fitout does not intrude into the Lessor's Service Zone without GPT approval.
21. Lessee to ensure that Exclusion Zone remains clear for access ladder.

PLEASE NOTE:

This plan is current as per revision date and is indicative only. The GPT Group and its agents reserve the right to change this indicative plan at any time in their absolute discretion including but not limited to the following elements:

- Column sizes and locations
 - FHR locations
 - RCP and extent of rear zone
 - Service riser locations
 - Locations of service control boxes including but not limited to electrical distribution boards, mechanical control boxes, communication boxes and hydraulic water points
 - Location of drainage points
 - Shopfront pier locations, overhead beam location details and material details
- Before commencing shop design/fitout you should ensure that you have the most up to date information about the premises and the final Lease Outline Drawing for this tenancy.

The GPT Group, on its own behalf and on behalf of its agents disclaim any liability and responsibility for any cost, loss, damage or claim of whatever nature or kind (including negligence) suffered or sustained or incurred by any person, corporation or other legal entity which arises out of any alleged reliance on this indicative plan.



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S 879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

These plans remain the property of Building & Maintenance Services (BAMS) Pty Ltd at all times.
The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS. COPY RIGHT RESERVED©

PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE Tenancy Elevation

REV A

SCALE -

SHEET A3

ISSUE BY DESCRIPTION

A LZ CREATED

DATE

02.10.13

DRAWN BY LZ

DATE 2.10.13

AUTH. BZ

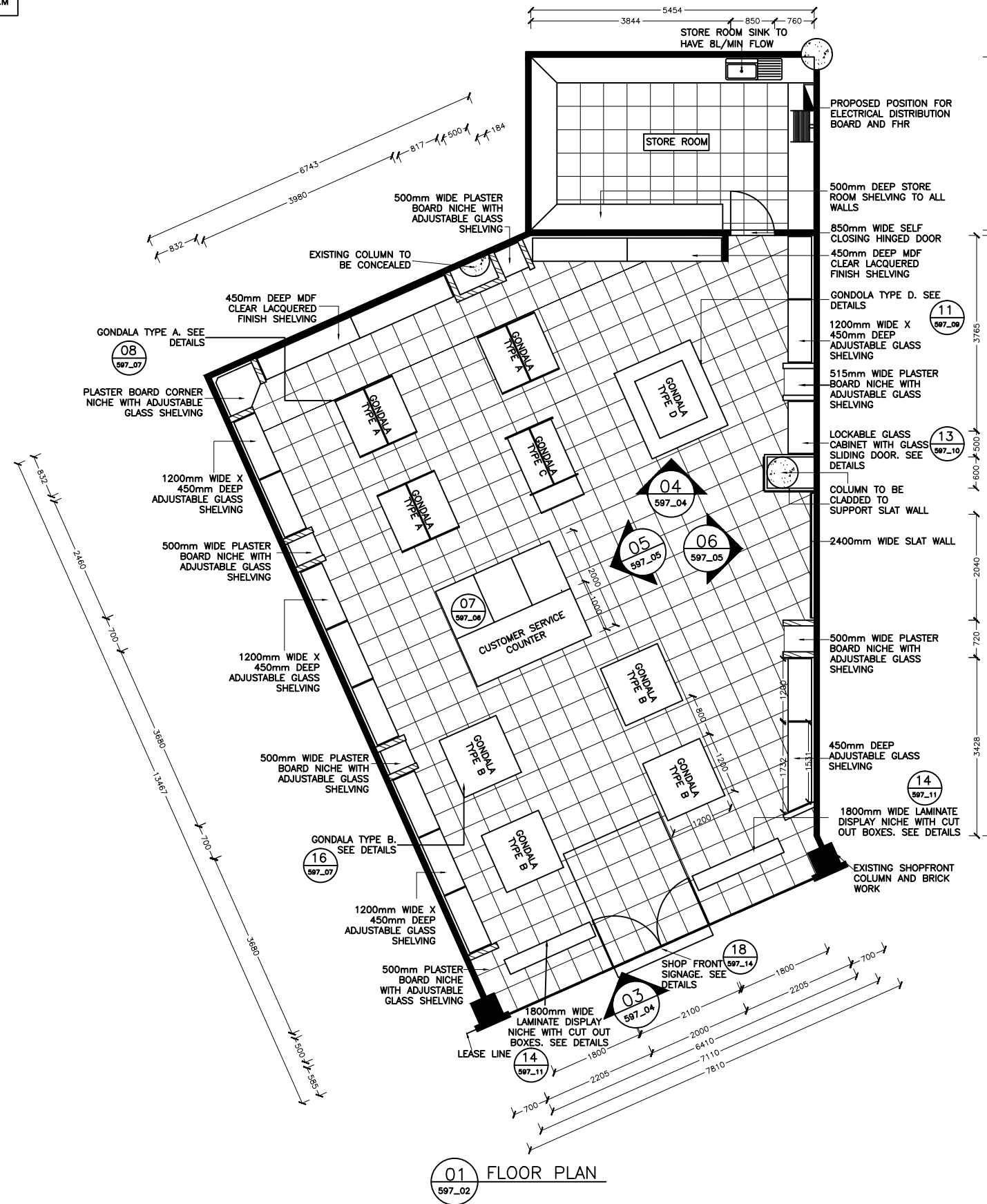
CLIENT APPROVAL

JOB NO
597_03

SHEET NO

NOTE: ALL SERVICES & DIMENSIONS ARE TO BE CONFIRMED WITH SITE VISIT

144sq.M



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

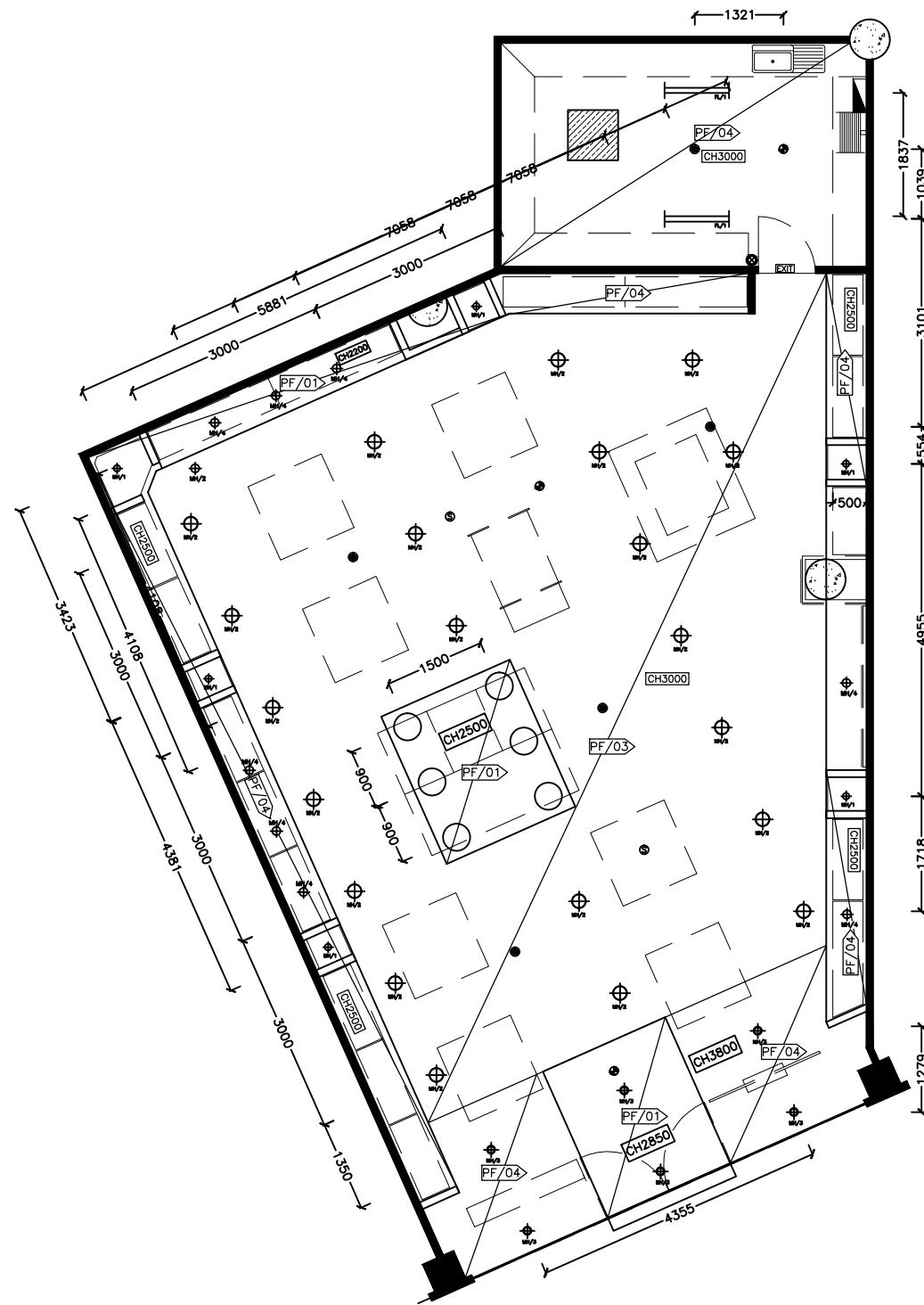
PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE Floor Plan

REV A
DRAWN BY LZ
DATE 02.10.13
JOB NO 597_04

SCALE 1:100
AUTH. BZ

SHEET A3
CLIENT APPROVAL

ISSUE	BY	DESCRIPTION	DATE
A	LZ	CREATED	02.10.13



02 REFLECTED CEILING PLAN
597_03

LEGEND		QUANTITY AND ITEM:
EXIT		2X EMERGENCY EXIT SIGN - Works by Lessor nominated subtrade where required.
FL/1		2X 1200 DBL FLURO-BATTEN - FL/01
MH/1		6X DD-35030 METAL HALIDE 35W G12 Two way tilt adjustment with clear toughened glass or equivalent. White - Trim size 190mm or equivalent
MH/3		6X TURNO PAR30 METAL HALIDE 35W Tilt action adjustment in white or equivalent. Trim size 120mm or equivalent.
MH/2		21X TURNO PAR20 METAL HALIDE 70W Tilt action adjustment in white or equivalent. Trim size 150mm or equivalent.
MH/4		8X DD-35030 METAL HALIDE 20W Tilt action adjustment in white or equivalent. Trim size 120mm or equivalent.
		6X SPECIAL FEATURE PENDANT LAMPS To Be fitted with 15W Compact Fluorescent Lights
		5X SPRINKLER SERVICE - EXISTING Certify compliance of existing layout on site. Modify to suit if req'd.
		3X EMERGENCY LIGHT
		2X RECESSED SPEAKER
		1X STORE ROOM MOTION SENSOR



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

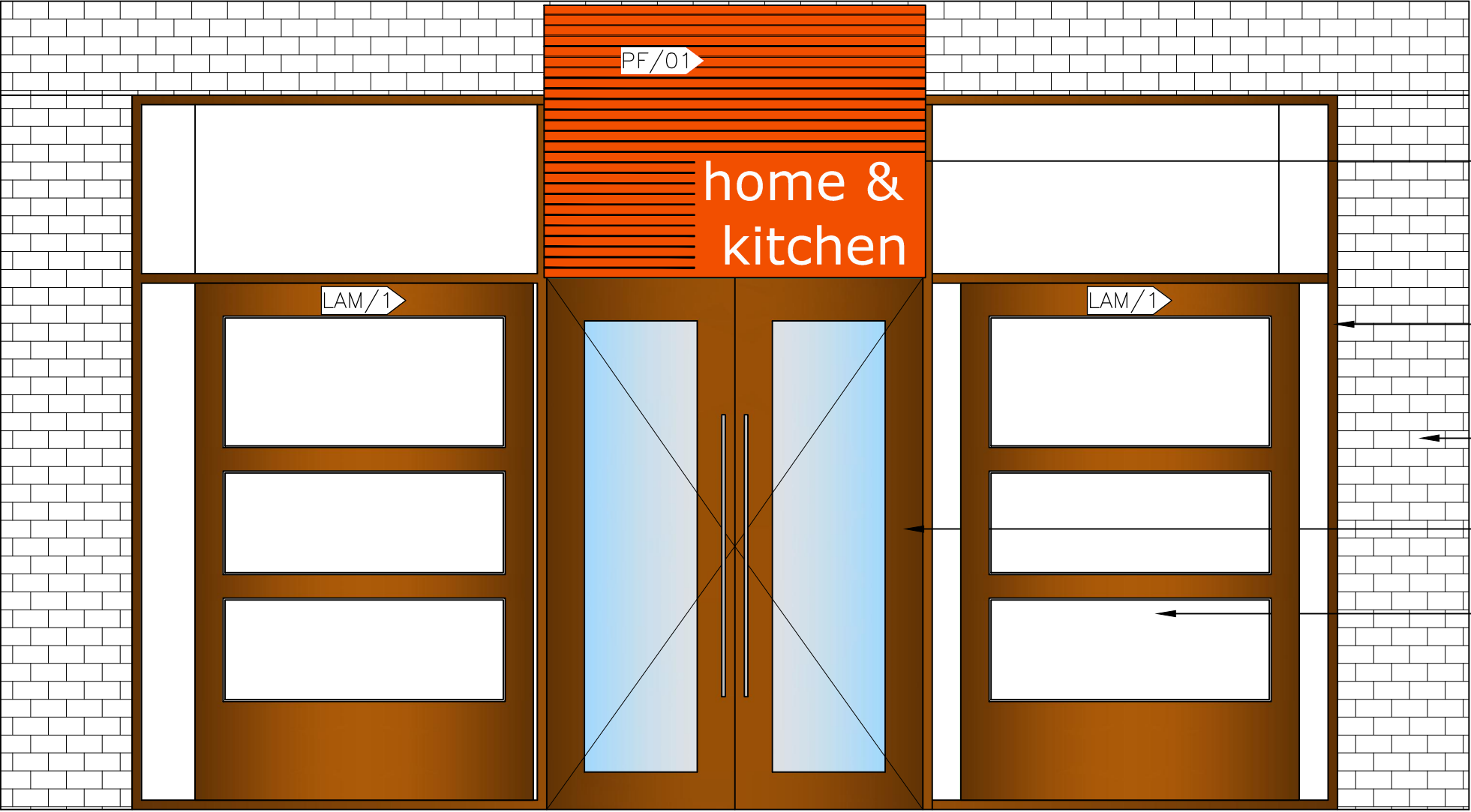
These plans remain the property of Building & Maintenance Services(BAMS) Pty Ltd at all times.
The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS COPY RIGHT RESERVED©

PROJECT	HOME AND KITCHEN ROUSE HILL TOWN CENTRE ROUSE HILL NSW
TITLE	Reflected Ceiling Plan

REV	A	SCALE	1:100
DRAWN BY	LZ	DATE	02.10.13
AUTH.	BZ	JOB NO	597_05

SHEET	A3
CLIENT ARROVAL	
SHEET NO	

ISSUE	BY	DESCRIPTION	DATE
A	LZ	CREATED	02.10.13



03 SHOP FRONT ELEVATION
597_04



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

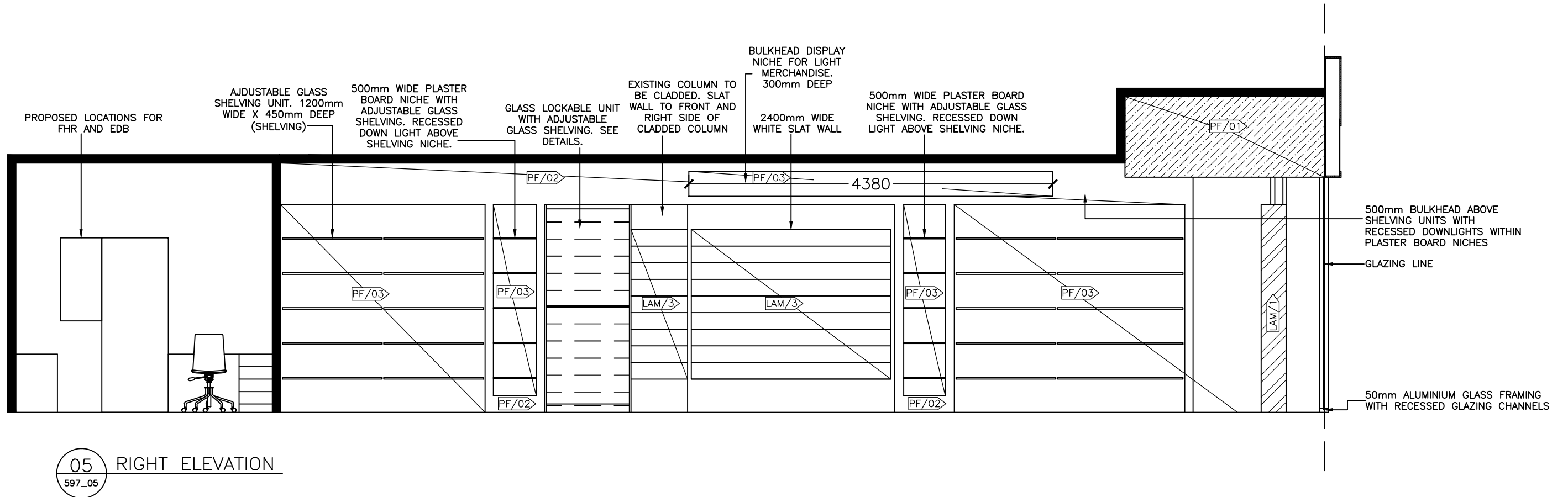
NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE Shopfront Elevation

REV A SCALE NTS
DRAWN BY LZ DATE 02.10.13 AUTH. BZ
JOB NO 597_06

SHEET A3
CLIENT APPROVAL
SHEET NO

ISSUE	BY	DESCRIPTION	DATE
A	LZ	CREATED	02.10.13



05 RIGHT ELEVATION
597_05



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

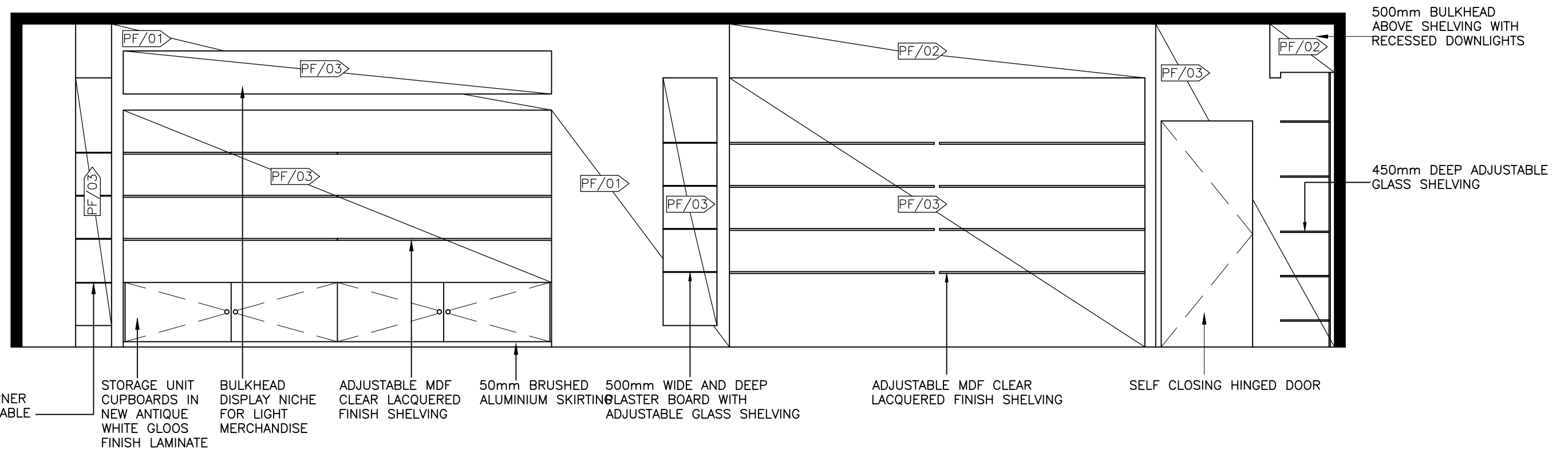
NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

PROJECT	HOME AND KITCHEN ROUSE HILL TOWN CENTRE ROUSE HILL NSW
TITLE	Internal Elevation- Right Wall

REV	A	SCALE	1:50
DRAWN BY	LZ	DATE	2.10.13
AUTH.	BZ	JOB NO	597_07

SHEET	A3	ISSUE	BY	DESCRIPTION	DATE
CLIENT APPROVAL		A	LZ	CREATED	02.10.13
SHEET NO					

These plans remain the property of Building & Maintenance Services(BAMS) Pty Ltd at all times.
The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS COPY RIGHT RESERVED©



04 REAR ELEVATION



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE Rear Wall Elevation

REV A

SCALE -

SHEET A3

ISSUE BY

A LZ

DESCRIPTION

DATE

DRAWN BY LZ

DATE 2.10.13

AUTH. BZ

CLIENT APPROVAL

SHEET NO

JOB NO 597_09



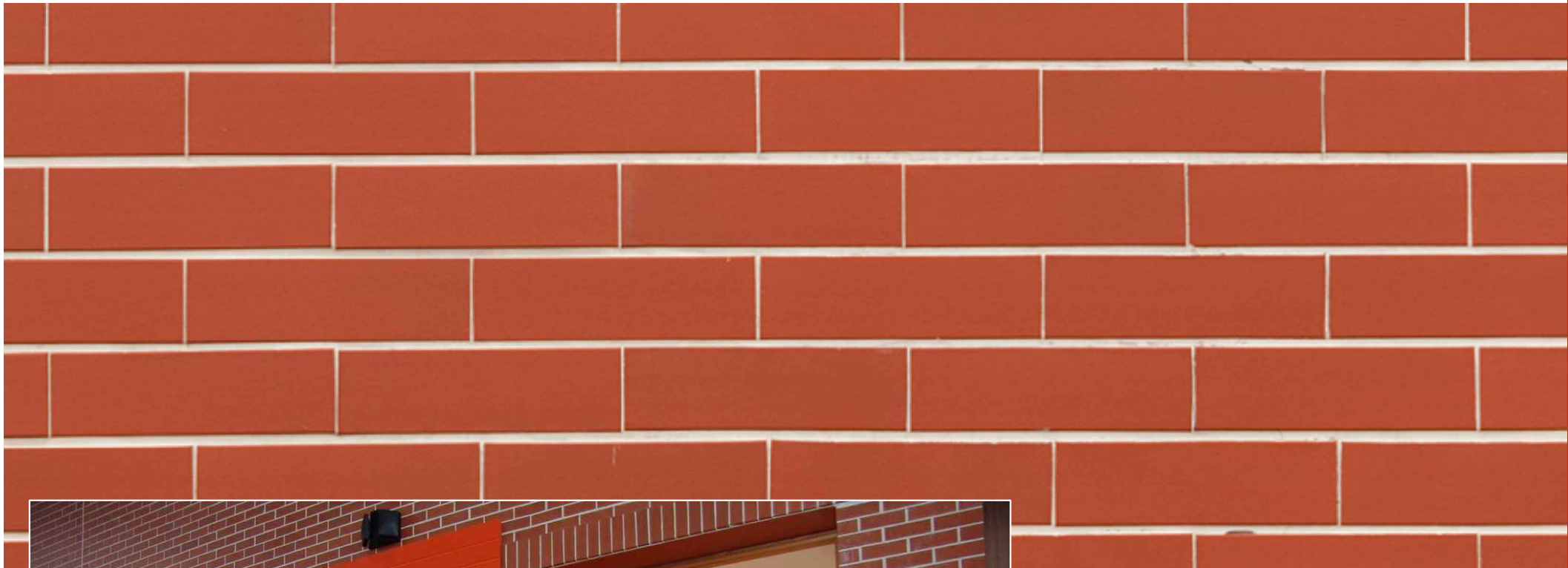
PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

These plans remain the property of Building & Maintenance Services(BAMS) Pty Ltd at all times.
The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS COPY RIGHT RESERVED©

PROJECT	HOME & KITCHEN ROUSE HILL TOWN CENTRE ROUSE HILL NSW			REV	H	SCALE	-	SHEET	A3	ISSUE	BY	DESCRIPTION	DATE
				DRAWN BY	LZ	DATE	2.10.13	AUTH.	BZ	CLIENT APPROVAL			
TITLE	Schematic Design			JOB NO		SHEET NO							
				597_02		-							

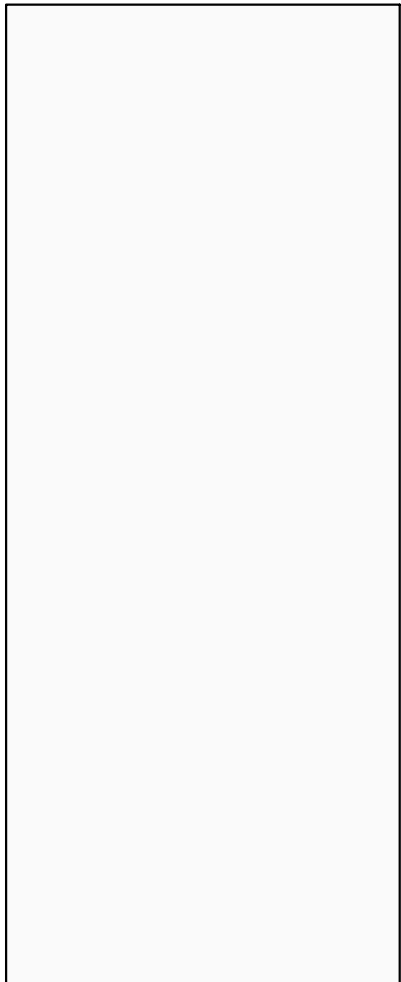
EXTERNAL SHOPFRONT BRICK FINISH



DULUX FEATURE PAINT



DULUX WHITE



TO MATCH CORPORATE FRANCHISE



JOINERY FINISH



FEATURE PENDANT





OPTION 1



OPTION 2



OPTION 3



OPTION 4



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE SIGNAGE & LOGO DESIGN

REV H

SCALE -

SHEET A3

ISSUE BY

A LZ

DESCRIPTION

DATE

DRAWN BY LZ

DATE 2.10.13

AUTH. BZ

CLIENT APPROVAL

JOB NO 597_02

SHEET NO A00

ISSUE BY

A LZ

DESCRIPTION

DATE

PROJECT: HOME & KITCHEN

SCHEDULE OF MATERIALS

REV B

AREA	CODE	ITEM	MANUFACTURER	COLOUR/FINISH/SIZE	QTY	MISC.	COMMENTS
FLOOR FINISHES	T/01	FLOOR TILES	SELECTED CERAMICS PH: (02) 608 3966	CHASSAGNE 450x450	135.96sqm INC 10% WASTE	MATCHING COLOUR GROUT – EVEN WITH TILE FACE	SHOPFITTER SUPPLY AND INSTAL
	SK/01	SKIRTING	ANONDISSED WALL PLATE SKIRTING	100mm BRUSHED ALUMINIUM	–	MATCHING COLOUR GROUT – EVEN WITH TILE FACE	SHOPFITTER SUPPLY AND INSTAL
PAINT FINISHES	PF/01	FEATURE WALL; SIGN BOX; POS BULKHEAD	DULUX WASH AND WEAR SEMI GLOSS	FIERY GLOW	–	–	SHOPFITTER SUPPLY AND INSTAL
	PF/02	SHELVING BULKHEAD	DULUX WASH AND WEAR SEMI GLOSS	SOFT SUEDE	–	–	SHOPFITTER SUPPLY AND INSTAL
	PF/03	BASIC WALLS	DULUX WASH AND WEAR LOW VOC ENVIRO 2 SEMI GLOSS	PALE WOOD	–	–	SHOPFITTER SUPPLY AND INSTAL
	PF/04	CEILING	DULUX WASH AND WEAR LOW VOC ENVIRO 2 SEMI GLOSS	SCILLY WHITE	–	–	SHOPFITTER SUPPLY AND INSTAL
JOINERY	LAM/1	COUNTER; DISPLAY NICHES	FORMICA GREEN FIRST OR EQUIVALENT	SOUTH WEST JARRAH NATURAL FINISH	–	MATCHING PVC VINYL INSERTED WHERE INDICATED	SHOPFITTER SUPPLY AND INSTAL
	LAM/2	GONDOLA SHELVING; GONDOLA BENCH TOP	FORMICA GREEN FIRST OR EQUIVALENT	MANITOBA CROWN NATURAL FINISH	–	MATCHING PVC VINYL INSERTED WHERE INDICATED	SHOPFITTER SUPPLY AND INSTAL
	LAM/3	COUNTER; SLAT WALL; GONDOLAS	FORMICA GREEN FIRSTOR EQUIVALENT	ANTIQUE WHITE GLOSS FINISH	–	MATCHING PVC VINYL INSERTED WHERE INDICATED	SHOPFITTER SUPPLY AND INSTAL
	MDF/1	MDF SHELVING	GREEN FIRST OR EQUIVALENT	CLEAR LACQUERED FINISH	–	MATCHING PVC VINYL INSERTED WHERE INDICATED	SHOPFITTER SUPPLY AND INSTAL
FIXTURES AND FITTINGS	DH/01	ENTRY DOOR HANDLE	BACK TO BACK STYLE 1200mm LONG	SATIN CHROME FINISH	2 PAIR		SHOPFITTER SUPPLY AND INSTAL
	DH/02	STORE ROOM DOOR HANDLE	LEVER HANDLE PASSAGE SET WITH LOCK	SATIN CHROME FINISH	1 PAIR		SHOPFITTER SUPPLY AND INSTAL
	SINK/1	SINK UNIT WITH DRAINER	EQUAL TO CLARKE 2000 SERIES 2003 FOR 2004F COMPACT BOWL AND DRAINER TO SUIT	STAINLESS STEEL	1	SINGLE TAP HOLE	SHOPFITTER SUPPLY AND INSTAL
	TAP/01	STORE ROOM SINK UNIT TAPWARE	STANDARD HOT AND COLD SET	IN–BUILT NON–RETURN VALVE AND 40mm CERAMIC DISC CARTRIDGE CHROME PLATED	1	MOUNTED OFF SINK TOP. COLD WATER SUPPLY ONLY	SHOPFITTER SUPPLY AND INSTALL
FIXTURES AND FITTINGS	MH/01	GENERAL LIGHTING	TBA	20W 2 WAY TILT ADJUSTMENT. WHITE. 190mm DIA.	7 PAIR	20W X 7 = 140W	SHOPFITTER SUPPLY AND INSTAL
	MH/02	NICHE LIGHTING	TBA	25W TILT ADJUSTMENT. WHITE. 120mm DIA.	13 PAIR	25W X 13 = 325W	SHOPFITTER SUPPLY AND INSTAL
	MH/03	DISPLAY LIGHTING	TBA	20W TILT ADJUSTMENT. WHITE. 150mm DIA.	5 PAIR	20W X 5 = 100W	SHOPFITTER SUPPLY AND INSTAL
	FP/01	FEATURE PENDANT LAMP	TBA	15W COMPACT FLUORESCENT LIGHTS	6	15W X 6 = 90W	SHOPFITTER SUPPLY AND INSTAL



PO Box 698 Liverpool
NSW 2170 Australia
Tel: +61 2 9826 0666
Fax: +61 2 9826 0122
www.bams.com.au

NSW: 88823C
VIC: CB-L 3112
WA: S.879
QLD: 1068845
ACT: 200579
SA: BLD 87326
TAS: CC4768 U
NZ: LBP100682

These plans remain the property of Building & Maintenance Services(BAMS) Pty Ltd at all times.
The copying of ALL or PART of the drawings is expressly FORBIDDEN without APPROVAL from BAMS COPY RIGHT RESERVED©

PROJECT HOME AND KITCHEN
ROUSE HILL TOWN CENTRE
ROUSE HILL NSW
TITLE Schedule Of Materials

REV A

SCALE 1:100

SHEET A3

ISSUE BY DESCRIPTION

DATE

DRAWN BY LZ

DATE 02.10.13

AUTH. BZ

CLIENT APPROVAL

A LZ CREATED

02.10.13

JOB NO 597_13

SHEET NO